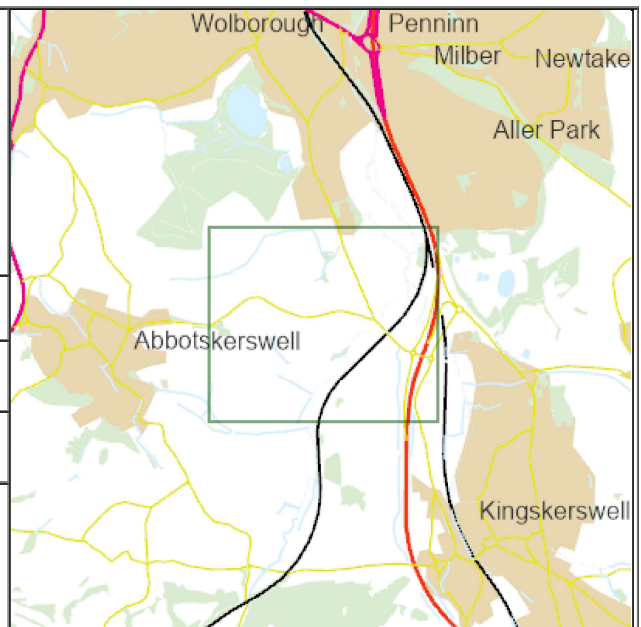


Planning Committee Report

Chair: Cllr Suzanne Sanders

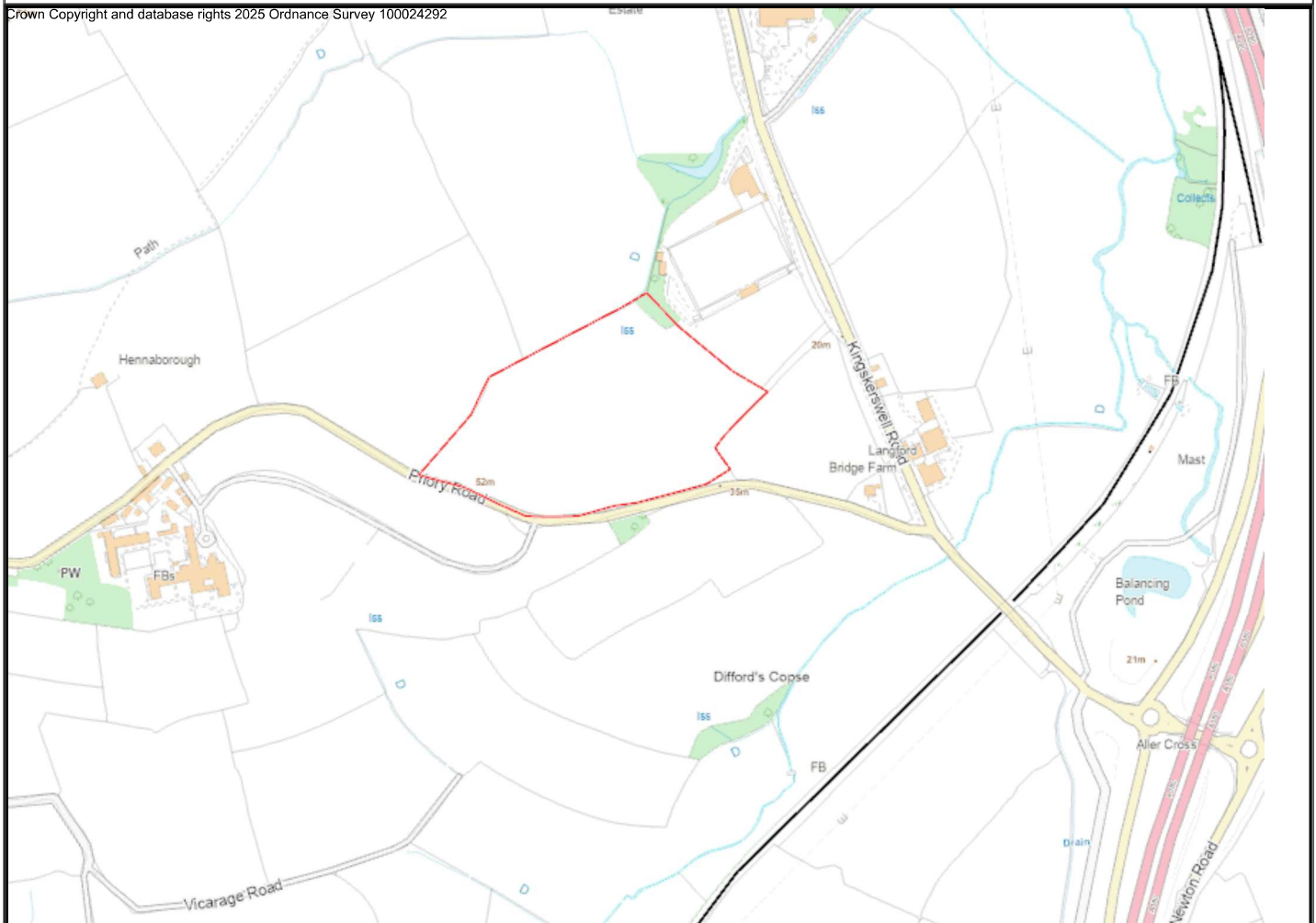
Date	21 October 2025
Case Officer	Dave Kenyon
Location	Langford Bridge Farm Kingkerswell Road Newton Abbot Devon TQ12 5LA
Proposal	Reserved Matters application (appearance, landscaping, layout and scale) for the construction of 88 dwellings including 20% affordable housing, landscaping, public open space and associated site infrastructure; pursuant to Outline Planning Permission 19/00238/MAJ.
Applicant	Persimmon Homes Ltd
Ward	Ambrook
Member(s)	Cllr Paul Parker, Cllr Richard Daws
Reference	24/01959/MAJ



[Online Details and Documents](#)

RECOMMENDATION: RESERVED MATTERS APPROVAL

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1. REASON FOR REPORT

A Ward Member has requested that this 'reserved matters' application is considered by the Planning Committee for reasons relating to openness and transparency and to satisfy itself that the proposed development is consistent with the adopted design code for NA3 and relevant Local Plan policies.

The Head of Development Management considers that this application for the approval of matters reserved at outline stage merits oversight by the Planning Committee.

2. RECOMMENDATION

RESERVED MATTERS BE GRANTED, subject to the following conditions:

1. Development in accordance with approved plans

The development hereby permitted shall be carried out in accordance with the following approved plans:

Date Received	Drawing/Reference Number	Description
15 Aug 2025	333100531 BL-LD-105	Landscape General Arrangement
15 Aug 2025	333100531 BL-LD-220 REV G	Planting Plan Plot Landscape, Layout Sheet
15 Aug 2025	PERU 3010 5510 REV A	Boundary Type Details BT11: Aluminium Gate
15 Aug 2025	333100531 BL-LD-233 REV G	Planting Plan Public Open Space, Sheet 3
15 Aug 2025	PERU3010 8002 REV A	Custom Self Build Phasing Plan
15 Aug 2025	PERU3010 5506 A	Boundary Type Details BT6 Estate Rail
15 Aug 2025	333100531 BL-LD-110 REV D	Hard Landscape Plan Plot Landscape, Layout Sheet
15 Aug 2025	PERU3010 5508 REV A	Boundary Type Details BT8 Low Hedge
15 Aug 2025	333100531 BL-LD-221 REV G	Planting Plan Plot Landscape, Sheet 1
15 Aug 2025	PERU3010 5505 REV A	Boundary Type Details BT5 Closed Board Fence
15 Aug 2025	PERU3010 5509 REV A	Boundary Type Details BT9 Timber Gate
15 Aug 2025	333100531 BL-LD-232 REV G	Planting Plan Public Open Space, Sheet 2
15 Aug 2025	333100531 BL-LD-111 REV D	Hard Landscape Plan Plot Landscape, Sheet 1
15 Aug 2025	WOLB2-3/2024 102 REV P2	Plot Identification for EV Charging
15 Aug 2025	PERU3010 5507	Boundary Type Details BT7 Timber Playground Fencing
15 Aug 2025	333100531 BL-LD-222 REV G	Planting Plan Plot Landscape, Sheet 2

15 Aug 2025	333100531 BL-LD-235 REV G	Planting Plan Public Open Space, Sheet 5
15 Aug 2025	PERU3010 5503 REV A	Boundary Type Details BT3 Brick Wall
15 Aug 2025	333100531 BL-LD-231 G	Planting Plan Public Open Space, Sheet 1
15 Aug 2025	333100531 BL-LD-223 REV G	Planting Plan Plot Landscape, Sheet 3
15 Aug 2025	333100531 BL-LD-112 REV D	Hard Landscape Plan Plot Landscape, Sheet 2
15 Aug 2025	PERU3010 5501 REV A	Boundary Type Details BT1 Stone Wall
15 Aug 2025	333100531 BL-LD-234 REV G	Planting Plan Public Open Space, Sheet 4
15 Aug 2025	333100531BL-LD-230 REV G	Planting Plan POS Landscape, Layout Sheet
15 Aug 2025	PERU3010 8102 REV A	Custom Self Build Demonstration Plan
22 Aug 2025	PERU3010 1002 REV A	Application Boundary
18 Sep 2025	PERU3010 REVISION J	House Type Pack September 2025
18 Sep 2025	PERU3010 5002 REV AE	Site Layout Rendered
18 Sep 2025	PERU3010 5002 REV AI	Site Layout
18 Sep 2025	PERU3010 6002 REV I	Housing Mix & Tenure
18 Sep 2025	PERU3010 6102 REV I	Building Heights
18 Sep 2025	PERU3010 6202 REV I	Wall & Roof Materials
18 Sep 2025	PERU3010 6302 REV I	Boundary Treatments
18 Sep 2025	PERU3010 6502 REV I	Parking Strategy
18 Sep 2025	PERU3010 6602 REV I	Refuse Collection Strategy
18 Sep 2025	PERU3010 6702 REV I	Cycle Storage Strategy
18 Sep 2025	PERU3010 6802 REV J	Water Butt Strategy
18 Sep 2025	PERU3010 6902 REV I	Sustainable Heating Strategy
18 Sep 2025	PERU3010 7002 REV F	Adoption Plan
18 Sep 2025	PERU3010 7201 REV K	Street Scenes: Sections AA & BB
18 Sep 2025	PERU3010 7201 REV K	Street Scenes: Sections CC & DD
18 Sep 2025	PERU3010 7201 REV K	Street Scenes: Sections EE & FF
30 Sep 2025	ES23.051 SK-PH2-02.00-P7	Highways & Site Levels Plan
30 Sep 2025	ES23.051 SK-PH2-07.01-P4	Vehicle Tracking Plan - Refuse Sheet 1
30 Sep 2025	ES23.051 SK-PH2-07.02-P4	Vehicle Tracking Plan - Refuse Sheet 2
30 Sep 2025	ES23.051 SK-PH2-07.03 P4	Vehicle Tracking Plan - Fire Sheet 1
30 Sep 2025	ES23.051 SK-PH2-07.04 P4	Vehicle Tracking Plan - Fire Sheet 2
02 Oct 2025	ES23.051 SK-PH2-02.11 REV P3	Highway Sketch
07 Oct 2025	ES23.051 SK-PH2-09.00 REV P3	Overland Flood Exceedance Plan

07 Oct 2025	ES23.051 SK-PH2-08.00 REV P3	Drainage Catchment Plan - Overall
07 Oct 2025	ES23.051 SK-PH2-03.01 REV P9	Drainage Strategy Sketch
07 Oct 2025	ES23.051 SK-PH2-02.00 REV P7	Highway and Site Levels Plan
07 Oct 2025	21724/WAREHAM (2)	PV Arrangement-Persimmon Homes R21 range HT-Wareham (2 Panels)
08 Oct 2025	ES23.051 21.11 REV P1	Typical Split-Level Plot Garden Section
09 Oct 2025	ES23.051 21.03 REV T3	Site Sections - Sheet 3
09 Oct 2025	ES23.051 21.02 REV T3	Site Sections - Sheet 2
09 Oct 2025	ES23.051 21.01 REV T3	Site Sections - Sheet 1

REASON: To ensure compliance with the approved drawings.

2. Sample panel of stonework

Prior to any above ground works to any of the natural stone walls including boundary walls, retaining walls and building elevations as specified on drawing no. PERU3010 6202 Rev I " Wall & Roof Materials" hereby approved, a sample panel of stonework showing the type of stonework, type of pointing and the mortar to be used which shall be recessed from the outer face of the stonework shall have been constructed on site and made available for inspection, together with details and specification of materials used for its construction submitted to and approved in advance in writing by the Local Planning Authority. The sample panel shall be approximately 2 square metres in size. For the avoidance of doubt, all stonework shall be laid on its traditional bed and machine cut or sawn faces shall not be used in the wall or for quoin stones. Once approved the panel shall remain on site until the completion of works, and the stonework shall be constructed to match the approved sample panel.

REASON: To ensure that the development reflects the distinctive character of the local area using appropriate and high-quality materials

3. Details of the LEAP

Prior to the first occupation of any dwelling hereby permitted in this phase of the development, details of the Local Equipped Area of Play (LEAP) in this phase shall be submitted to and approved in writing by the Local Planning Authority. The details shall include:

- a) sectional drawings showing finished ground levels,
- b) details of retaining structures and means of enclosure,
- c) the specification and type of surfacing to be provided for the LEAP,
- d) the specification, type and method of fixing of the play equipment,
- e) the specification and type of planting to be incorporated into the LEAP, and
- f) a timetable for the carrying out and completion of the LEAP in its entirety.

The development hereby approved shall be carried out in accordance with the approved details and thereafter the LEAP shall be retained and maintained for the lifetime of the development.

REASON: In the interest of ensuring the delivery of an appropriate and accessible area of play for the benefit of the future occupiers of the development without undue delay.

4. Details of surfacing of non-adopted footpaths

Prior to the first occupation of any dwelling hereby permitted in this phase of the development, details of all footpaths, which are not to be formally adopted by the Highway Authority, in this phase shall be submitted to and approved in writing by the Local Planning Authority. The details shall include:

- a) the specification and type of surfacing to be provided for the footpaths,
- b) the specification and type of any means of enclosure / handrails that may be provided adjoining said footpaths,
- c) the methods of draining these footpaths to avoid unacceptable surface water run-off onto adjoining land, including the LEAP and roads, and into nearby residential dwellings, and,
- d) a timetable for the carrying out and completion of the non-adopted footpaths in their entirety.

Thereafter, such non-adopted footpaths shall be retained and maintained and remain open for public access in perpetuity and shall, at no times, be obstructed and public use prevented, unless there is a need for the carrying out of essential repairs and maintenance to any part of the footpaths, in which case prior written notification from the applicant/developer shall be submitted to the Local Planning Authority with clear details provided as to the extent of repair or maintenance works to be carried out and the length of time such obstruction will occur, and subsequent written approval provided by the Local Planning Authority.

REASON: In the interests of sustainability and allowing ease of movement for pedestrians within this phase of development and connecting to other phases of development, having due regard to safety of users, flood risk, and overall appearance.

5. Details of boundary fencing

No dwelling on plots 53, 54 and 111 to 128 inclusive shall be occupied until the new Devon hedges and fencing thereon to the south of those plots have been constructed, erected and landscaped in accordance with all approved layout, section and landscaping drawings. Thereafter, these Devon hedges and fencing thereon shall be retained and maintained in perpetuity and shall not be removed, demolished or dismantled in any way, either in whole or in part, without the prior written approval of the Local Planning Authority.

REASON: In the interests of the health and safety of users of the footpath and green open space to the south of the dwellings on the plots identified in this condition, whilst also retaining privacy for and safeguarding the residential amenities of future occupiers of said dwellings.

6. Details of external lighting

Notwithstanding Section 55(2) of the Town and Country Planning Act 1990 and/or the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) (or any order revoking and re-enacting that Order with or without modification), no new external lighting shall be installed on, or in association with the buildings the subject of this permission, at any time except for low-intensity, PIR motion-activated lights on a short timer (maximum 2 minutes), sensitive to large objects only (to avoid triggering by bats or other wildlife). Any lights should be mounted at a height no greater than 1.9m from ground level, directed/cowled downwards and away from hedges and trees. The lights should produce only narrow spectrum, low-intensity light output, UV-free, with a warm colour-temperature (2,700K or less) and a wavelength of 550nm or more.

REASON: In the interest of ensuring the protection of legally safeguarded light-sensitive species of bats.

7. Details of photo voltaic panels

As indicated on drawing no. 21724/Wareham (2), Photo Voltaic (PV) panels shall be fitted on the southerly facing roof slopes (or most appropriate aspect) of plots 68, 69, 72, 73, 74, 75, 76, 79, 80, 81, 89, 90, 91, 92, 93, 100, 101 and 102. Such PV panels shall have been fitted to the roof slope of each identified dwelling and be operational prior to the first occupation of each respective dwelling, in accordance with details previously submitted to and approved in writing by the Local Planning Authority, including details of exact locations, numbers and dimensions on the roof slope, and extent of protrusion above the roof slope. Thereafter, the approved PV panels shall be maintained and remain in situ and operational.

REASON: In the interests of promoting renewable energy generation, having due regard to policy CC5 of the emerging Teignbridge Local Plan 2020-2040, and to safeguard the design and appearance of the development as a whole.

8. Embodied carbon assessment

Prior to the commencement of the construction of any dwelling hereby permitted, a lifecycle carbon assessment, in accordance with the RICS Lifecycle Carbon Assessment Methodology (Second Edition) shall be submitted to and approved in writing by the Local Planning Authority. This assessment shall aim to achieve the following benchmark standards:

- a) 500kgCO₂/m² covering upfront emissions (modules A1 to A5), in alignment with the LETI carbon target alignment and 2020 best practice standard.
- b) 800kgCO₂/m² covering lifecycle emissions (upfront modules A-5, in-use modules B1-B5, and end-of-life modules C1 – C4, in alignment with a “C” emissions rating under the LETI carbon target alignment standard).

NOTE: The applicant is encouraged to outperform these benchmarks in pursuit of the “B” rating “stretch” benchmarks defined within the Embodied Carbon Target Alignment standard. If the benchmarks cannot be achieved, the embodied carbon statement (discussed below) should provide a clear justification.

REASON: In the interest of reducing carbon emissions to comply with policies GP1 and CC2 of the emerging Teignbridge Local Plan 2020-2040.

9. Landscaping implementation

The approved hard and soft landscaping scheme shall be carried out strictly in accordance with the approved details submitted on the approved hard landscaping plans, soft landscaping/planting plans and boundary treatment plans and shall be completed prior to first occupation of the development, or otherwise in accordance with a timetable of implementation previously approved in writing by the Local Planning Authority.

Thereafter, following substantial completion of the development hereby permitted, all soft landscape works shall be protected, managed and maintained in accordance with the approved details and to a standard in accordance with the relevant recommendations of British standard 4428 1989 Code of Practice for general landscape operations. Soft landscape maintenance details shall include the frequency of site visits and timings of general operations such as plant inspections, weed control, watering, fertiliser application, mulching and grass cutting.

REASON: To ensure the provision, establishment, management and maintenance of landscaping in order to protect the character and appearance of the area; to ensure the well-being of any retained trees and hedges and the continuity of tree cover; and to ensure the environment of the development is improved and enhanced.

10. Replacement planting

If within a period of ten years from the date of implementation and completion of the approved soft landscaping scheme, should any part of the soft landscaping be removed, uprooted or destroyed, or dies, or becomes, in the opinion of the Local Planning Authority seriously damaged or defective, it shall be replaced by planting as originally approved, unless the Local Planning Authority gives its written approval to any variation. This replacement planting shall be undertaken before the end of the first available planting season (October to March inclusive for bare root plants), following the removal, uprooting, destruction or death of the original trees, hedges or other planting.

REASON: To ensure the provision, establishment, management and maintenance of landscaping in order to protect the character and appearance of the area; to ensure the well-being of any retained trees and hedges and the continuity of tree cover; and to ensure the environment of the development is improved and enhanced.

11. Surface Water Drainage implementation

Prior to first occupation of of any dwelling hereby permitted in this phase of the development, or such other alternative timeframe as may previously be agreed in writing by the Local Planning Authority, the surface water drainage scheme shall have been carried out and completed in accordance with the details indicated on the approved drawings nos. ES23.051 SK-PH2-09.00 REV P3 'Overland Flood Exceedance Plan', ES23.051 SK-PH2-08.00 REV P3 'Drainage Catchment Plan – Overall', and ES23.051 SK-PH2-03.01 REV P9 'Drainage Strategy Sketch'. Thereafter the approved drainage scheme shall be retained and maintained and kept free from any blockages of silt, mud or other debris preventing the free flow of surface water throughout the approved drainage infrastructure network.

REASON: To ensure the provision and future maintenance of a satisfactory drainage infrastructure scheme to prevent unacceptable overland surface water run-off and flooding of residential property, play area, highway infrastructure and other adjoining land.

INFORMATIVE

The conditions attached to the outline permission, and the obligations secured under the S106 legal agreement remain applicable and in force.

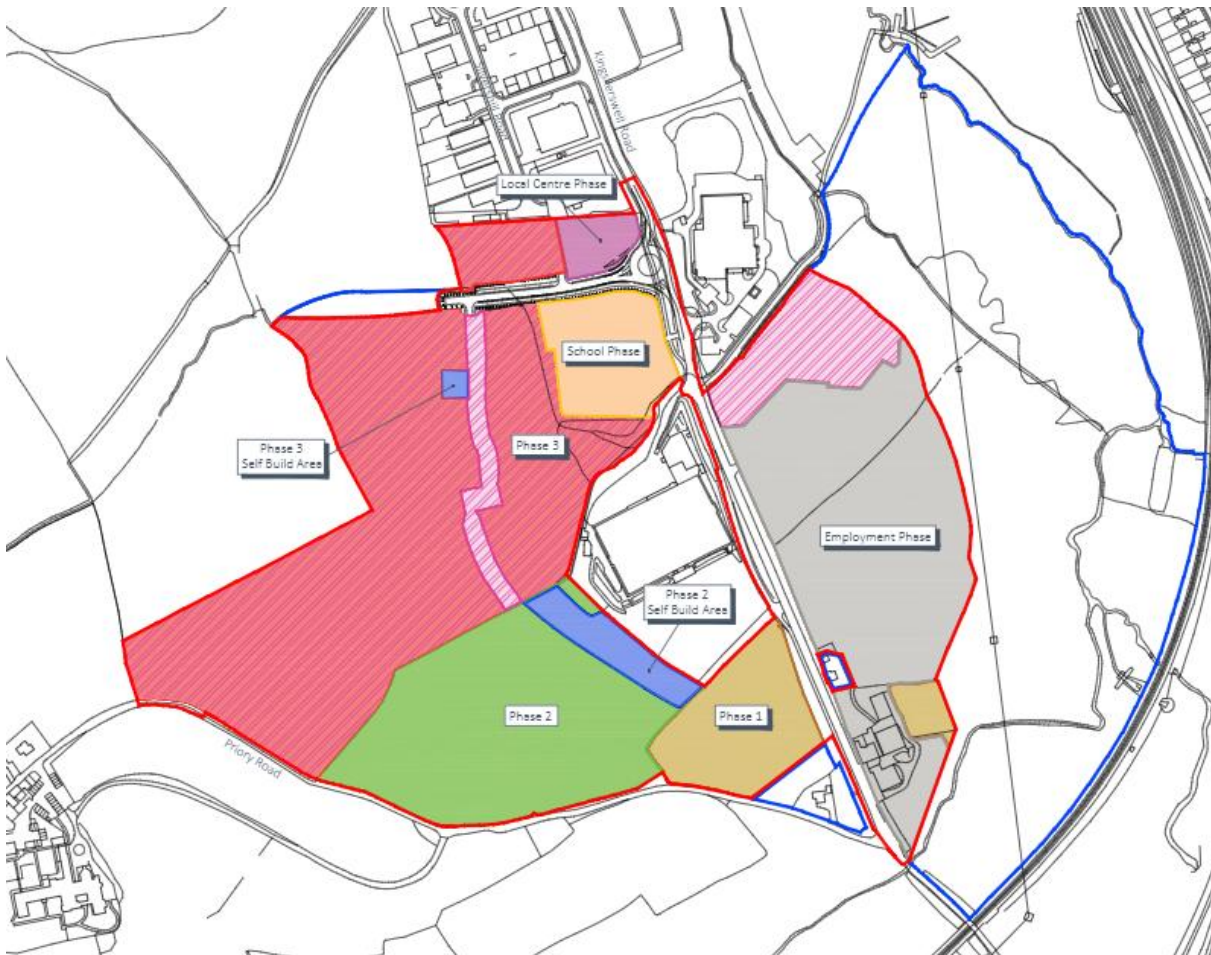
The applicant has submitted a 'Discharge of Condition' application under reference 19/00238/COND16 that runs in parallel with this application for reserved matters approval.

The 'Discharge of Condition' application has provided information on ecological mitigation up-front. It is anticipated that, subject to reserved matters approval being granted by the Planning Committee, the following outline planning conditions could subsequently be discharged:

- Condition 13 – Arboricultural Method Statement
- Condition 14 – Ecological Mitigation Strategy
- Condition 16 – Lighting
- Condition 17 – CEMP
- Condition 18 – LEMP

3. CONTEXT

- 3.1 This application seeks the approval of reserved matters for 'Phase 2' of the development, required to be submitted following the approval on 24th July 2020 of application reference 19/00238/MAJ ("hereon referred to as the Hybrid Permission") for:
- 3.2 *Hybrid planning application seeking full planning permission for part link road and vehicular access point to the site from Kingskerswell Road, phased outline planning permission for residential led mixed use development comprising up to 450 dwellings within Use Class C3, a local centre of up to 279 sq metres (GIA) with in Use Classes A1, A2, A3, D1 and D2, up to 22,000 sq metres of employment uses including all B class uses, infrastructure and associated development including demolition or conversion of existing farm buildings. Points of access and part link road submitted in full detail for approval with all other matters reserved.*
- 3.3 This application seeks approval of the Reserved Matters of appearance, landscaping, layout and scale for Phase 2 of the development, for 88 residential dwellings and associated infrastructure. The land identified as Phase 2 is indicated in green on the extract of the plan below (phasing plan approved under application reference 19/00238/COND15).



3.4 For clarification, in relation to reserved matters:

3.5 “Access” means the accessibility to and within the site, for vehicles, cycles and pedestrians in terms of the positioning and treatment of access and circulation routes and how these fit into the surrounding access network.

3.6 “Appearance” means the aspects of a building or place within the development which determine the visual impression the building or place makes, including the external built form of the development, its architecture, materials, decoration, lighting, colour and texture.

3.7 “Landscaping” means the treatment of land (other than buildings) for the purpose of enhancing or protecting the amenities of the site and the area in which it is situated and includes: (a) screening by fences, walls or other means; (b) the planting of trees, hedges, shrubs or grass; (c) the formation of banks, terraces or other earthworks; (d) the laying out or provision of gardens, courts, squares, water features, sculpture or public art; and (e) the provision of other amenity features.

3.8 “Layout” means the way in which buildings, routes and open spaces within the development are provided, situated and orientated in relation to each other and to buildings and spaces outside the development.

3.9 “Scale” means the height, width and length of each building proposed within the development in relation to its surroundings.

- 3.10 The 'reserved matters' to be considered as part of this current application are Appearance, Landscaping, Layout and Scale. The 'reserved matter' relating to Access to the site as already been approved by virtue of the hybrid application reference 19/00238/FUL, which granted full planning for the vehicular access point to the site from Kingskerswell Road, and the 'reserved matters' approval reference 22/01151/MAJ for 40 dwellings on Phase 1 to the east of the current application site which included the road layout linking Kingskerswell Road to Phase 2, via the Phase 1 development (currently under construction).

4. DESCRIPTION OF THE SITE

- 4.1 The site is location on the southern side of Newton Abbot, approximately 2km south of Newton Abbot town centre.
- 4.2 The Phase 2 site lies to the west of the Phase 1 development which gains access from Kingskerswell Road to the east. To the north of the Phase 2 site is a complex of football pitches and buildings associated with Buckland Athletic Football Club and Priory Road runs along the southern boundary of the site. To the west is land subject to the wider outline permission which is set for further residential development and open space as part of future phases.
- 4.3 The site tends to rise in southerly and south westerly directions and is bounded on all sides by well-established mature trees and hedgerows.

5. PLANNING HISTORY

- 5.1 The key applications relevant to this approval of reserved matters have been itemised in the table below. A full list of related applications is available on the Council's website.

Application No.	Type of Application	Description	Decision
19/00238/MAJ	Hybrid Planning Application	Full planning permission for part link road and vehicular access point to the site from Kingskerswell Road, phased outline planning permission for residential led mixed use development comprising up to 450 dwellings within Use Class C3, a local centre of up to 279 sq metres (GIA) with in Use Classes A1, A2, A3, D1 and D2, up to 22,000 sq metres of employment uses including all B class uses, infrastructure and associated development including demolition or conversion of existing farm buildings. Points of access and part link road submitted in full detail for approval with all other matters reserved.	Approval with Conditions 24 July 2020

Application No.	Type of Application	Description	Decision
19/00238/AMD1	Non-material amendment	Non-material amendment (amend wording of condition 7 on full planning permission 19/00238/MAJ)	Approved 14 December 2022
19/00238/AMD2	Non-material amendment	Non-material amendment (amend wording of condition 6 on full planning permission 19/00238/MAJ)	Approved 13 April 2023
19/00238/COND1	Discharge of Condition	Discharge of condition 8 (CEMP Biodiversity) on full planning permission 19/00238/MAJ	Discharged 20 February 2023
19/00238/COND2	Discharge of Condition	Discharge of conditions 20 (outline permission -Scheme, Implementation, Verification, Reporting Unexpected Contamination) and 10 (full permission - Scheme, Implementation, Verification, Reporting Unexpected Contamination) on planning permission 19/00238/MAJ	Discharged 23 February 2023
19/00238/COND3	Discharge of Condition	Discharge of condition 4 (Link Road Gateway Strategy) on full planning permission 19/00238/MAJ	Discharged 20 June 2023
19/00238/COND4	Discharge of Condition	Discharge of Condition 7 (Design Code) on outline planning permission 19/00238/MAJ	Discharged 02 June 2023
19/00238/COND5	Discharge of Condition	Discharge of condition 10 (Archaeology) on outline planning permission 19/00238/MAJ	Discharged 15 December 2022
19/00238/COND6	Discharge of Condition	Discharge of condition 8 (CEMP) on planning permission 19/00238/MAJ	Discharged 31 May 2023
19/00238/COND7	Discharge of Condition	Discharge of condition 9 (LEMP) on full planning permission 19/00238/MAJ	Discharged 31 May 2023

Application No.	Type of Application	Description	Decision
19/00238/COND8	Discharge of Condition	Discharge of conditions 3 (Surface Water), 5 (Landscaping), 6 (Lighting) & 7 (CEMP: Construction) on full planning permission 19/00238/MAJ	Discharged 18 July 2023 (conditions 3, 5 and 7) Condition 6 not discharged
19/00238/COND9	Discharge of Condition	Discharge of conditions 11 (Air Quality) & 12 (Archaeology) on full planning permission 19/00238/MAJ	Discharged 31 May 2023
19/00238/COND10	Discharge of Condition	Discharge of condition 10 (Remediation Scheme) on full planning permission 19/00238/MAJ	Discharged 05 July 2023
19/00238/COND11	Discharge of Condition	Discharge of conditions 6 (Phasing Plan), 9 (Carbon Reduction), 12 (Surface Water), 14 (Biodiversity), 15 (Bat Roost), 16 (External Lighting), 17 (CEMP: Biodiversity), 21 (CEMP: Construction), 22 (Air Quality) & 23 (Foul Water) on outline planning permission 19/00238/MAJ	Condition 6 discharged 19 December 2023 Conditions 9, 14, 15, 16, 17, 21 & 22 discharged 13 March 2024 Conditions 12 & 23 discharged 28 March 2024 Condition 21 discharged 25 September 2024 ALL APPLICABLE TO PHASE 1 ONLY
19/00238/COND12	Discharge of Condition	Discharge of condition 10 (Contamination) on full planning permission 19/00238/MAJ	Discharged 05 February 2024

Application No.	Type of Application	Description	Decision
19/00238/COND13	Discharge of Condition	Discharge of condition 18 (LEMP) on outline planning permission 19/00238/MAJ	Discharged 13 March 2024
19/00238/COND14	Discharge of Condition	Discharge of condition 13 (Arboricultural Method Statement) on outline planning permission 19/00238/MAJ	Discharged 21 January 2024 APPLICABLE TO PHASE 1 ONLY
19/00238/COND15	Discharge of Condition	Discharge of condition 6 (Phasing Plan) on outline planning permission 19/00238/MAJ	Discharged 26 February 2025
19/00238/COND16	Discharge of Condition	Discharge of condition 6 (Lighting) on full planning permission 19/00238/MAJ	Pending consideration
19/00238/COND17	Discharge of Condition	Discharge of conditions 13 (Arboricultural Method Statement), 14 (Ecological Mitigation Strategy), 16 (Lighting), 18 (LEMP), & 17 (CEMP) on outline planning permission 19/00238/MAJ	Pending consideration
19/00238/COND18	Discharge of Condition	Discharge of condition 21 (CEMP: Construction) in respect of Phase 2 on outline planning permission 19/00238/MAJ	Pending consideration
19/00238/COND19	Discharge of Condition	Discharge of condition 12 (Surface Water Drainage) on outline planning permission 19/00238/MAJ	Pending consideration
22/01151/MAJ	Reserved Matters	Reserved Matters application for the construction of 40 dwellings including affordable housing, public open space and associated site infrastructure; pursuant to outline planning permission reference 19/00238/MAJ (approval sought for access, appearance, landscaping, layout and scale) – Phase 1	Approval with Conditions 19 December 2023

Application No.	Type of Application	Description	Decision
22/01151/AMD1	Non-material amendment	Non-material amendment (change the handing on the garages at plots 29-31 and swap plot 28 and 29 parking locations) to planning permission 22/01151/MAJ) – Phase 1	Approved 10 May 2024
22/01151/AMD2	Non-material amendment	Non-material amendment (changes to planning layout to planning permission 22/01151/MAJ) – Phase 1	Approved 23 December 2024
22/01151/AMD3	Non-material amendment	Non-material amendment (re-location of bin stores and sheds on affordable properties: 9, 10, 14-16, 34-36 to planning permission 22/01151/MAJ) – Phase 1	Approved 22 May 2025
22/01151/COND1	Discharge of Condition	Discharge of condition 4 (Landscaping) on planning permission 22/01151/MAJ for reserved matters application – Phase 1	Discharged 13 March 2024
22/01151/COND2	Discharge of Condition	Discharge of condition 2 (LAP) on planning permission 22/01151/MAJ for reserved matters application – Phase 1	Discharged 27 March 2024
25/00345/MAJ	Reserved Matters	Reserved Matters application (appearance, landscaping, layout and scale) for the construction of highway and drainage (infrastructure phase); pursuant to Outline Planning Permission reference 19/00238/MAJ	Pending Consideration

6. PLANNING CONSIDERATIONS

- 6.1 The extent to which the submission accords with the outline part of the hybrid permission (19/00238/MAJ)
- 6.2 This application for reserved matters approval is made pursuant to the hybrid permission referenced 19/00238/MAJ. As such, the extent to which the submission accords with the hybrid permission is a matter to be assessed.

6.3 Condition 5 ('Approved Plans') attached to the outline part of the hybrid permission approves four parameter plans which future development is to accord with. These parameter plans cover land use, building heights, density and ecology. Extracts from the approved parameter plans showing Phases 1 and 2) are copied below.

6.4 LAND USE


Brown – Developable Residential Land

Green – Green Infrastructure (including allotments, play spaces)



6.5 BUILDING HEIGHTS

Residential building heights

-  Up to 2 storey (max 9m to ridge)
-  Up to 2.5 storey (max 10m to ridge)
-  Up to 3 Storey (max 11.2m to ridge)







6.6 DENSITY

Purple: 35 – 45 dph
Orange: 20 – 35 dph



6.7 ECOLOGY

-  Proposed Green infrastructure - lux levels < 0.5lux or no brighter than existing baseline levels
-  Proposed highways connections
-  Road crossing points with sensitive lighting, new tree planting but 'waiting zones' and raised landforms*
-  Residential areas where lighting is reduced to a minimum**

* Where feasible / appropriate

**Ecological mitigation measures could include low level lighting, directional lighting, additional street planting.



- 6.8 The parameter plan for **land use** specifies that the site is to deliver residential development and provide a primary highway route through the site, which is what this current 'reserved matters' application seeks to provide.
- 6.9 The **building heights** parameter plan indicates that dwellings up to 3 storeys in height would be acceptable along the main spine road and adjacent to the boundary with the football club in the northern part of the site. Building heights reduce to a maximum of 2.5 storeys in the central part of the site. The southern part of the site is to provide building heights of up to 2 storeys. The plans submitted for 'reserved matters' approval indicate that along the primary road, the proposed building heights would vary up to 2.5 storeys with the majority of the site being buildings of 2 storeys in height. The semi-detached properties close to the southern boundary of the site are proposed to be split-level dwellings which would be 2 storeys in height when viewed from the rear due to the topography of the site in this location. Whilst the split-level properties indicate a slight deviation from the building heights parameter plan, it should be noted that condition 7 of the hybrid permission requires the submission and approval of a Design Code and Masterplan to further shape the details of the development. The Design Code was approved on 2nd June 2023 under application reference 19/00238/COND4. The Design Code identifies the use of split-level properties as an appropriate solution for this area of the site which better integrates the level changes and results in improvements to the overall design of the development.
- 6.10 The parameter plan for **density** indicates that the majority of the Phase 2 site should be a medium density of between 35 and 45 dwellings per hectare, with an area of lower density in the southern part of the site at 20 to 35 dwellings per hectare. The corresponding figures for the proposed development has the mid density zone at 38 dwellings per hectare and the low-density zone at 35 dwellings per hectare which is compliant with the approved parameter plan for density.
- 6.11 The **ecology** parameter plan shows where green infrastructure is to be located, as well as areas to have minimal lighting and the provision of bat crossing points. The layout has been designed to minimise light spill in the areas shown on the approved parameter plan.
- 6.12 Condition 9 attached to the hybrid permission requires details of the carbon reduction measures, EV charging points and secure cycle storage to be submitted with each 'reserved matters' application that includes buildings. As part of this application, the carbon reduction measures are set out in the Sustainability Statement that is submitted, and the location of EV charging points and cycle storage are provided on the supporting detailed drawings. All dwellings would be provided with the capability of connecting to an EV charger and cycle storage would be provided to all homes either through a specific cycle store within private gardens or in private garages.
- 6.13 Further analysis is provided below in relation to the specific 'reserved matters' being applied for. However, in light of the relationship between the four parameter plans and the approved Masterplan and Design Code, it is considered that the 'reserved matters' application proposals accord with the key principles of the outline part of the hybrid permission.

6.14 Layout

- 6.15 As referred to in paragraph 3.3 above, “Layout” is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as *the way in which buildings, routes and open spaces within the development are provided, situated and orientated in relation to each other and to buildings and spaces outside the development.*
- 6.16 The proposed layout has been influenced by the site-wide Design Code to propose an appealing street hierarchy and feature buildings with the use of locally distinctive materials creating active frontages in most instances. In recognising the topography of the site, the proposal makes beneficial use of split-level dwellings to reduce the need for excessive retaining structures, which would otherwise result in poor design and over-engineering.
- 6.17 The proposed development does largely follow the framework as set out in the approved Design Code and Masterplan. There are three areas of the layout where deviations from the Masterplan are noted:
- (i) In the southern part of the development, where split level properties are proposed;
 - (ii) Centrally, with the reduced length of a ‘green’ pedestrian only corridor; and finally,
 - (iii) The reduction in the number of highway breaches along the existing hedgerow.
- 6.18 The extracts below are from the approved Masterplan and Design Code and the submitted layout plan forming part of this current ‘reserved matters’ submission. Inclusions of these extracts are intended to help identify the deviations referred to in the preceding paragraph.

6.19 *Extract from approved Masterplan & Design Code*



6.20 *Extract from submitted Layout Plan*



- 6.21 In relation to the split-level properties and as noted above, the Design Code (pg. 34 and 142) identifies the approach as an appropriate solution for this area of the site which better integrates the level changes and results in improvements to the overall design of the development. As such, in the consideration of balance regarding consistency with previously approved documents, the positive aspects of the proposal are noted.
- 6.22 The removal of the central 'green pedestrian only link' is regarded as an unfortunate necessity given the topographical constraints presented by the site. Nevertheless, it is considered that the proposed layout would deliver ample pedestrian only links through to the Public Open Space and LEAP, as well as connections to other phases of the development meaning that the impact of the reduced length of this particular connection is considered not to be significant.
- 6.23 The reduction in the number of highway breaches along the existing hedgerow has been assessed in the planning balance with the benefits of the proposed approach in design and ecological terms far outweighing these considerations if the Masterplan and Design Code was strictly followed. First and foremost, the reduced number of breaches of the hedgerow would reduce the risk of habitat fragmentation and severance of the identified 'bat flyway' associated with the South Hams SAC. Furthermore, the connections would not serve a practical permeability improvement for vehicles as more favourable alternative routes are available. A road in this location could introduce a physical barrier to accessing the LEAP and add unnecessary street furniture, such as street lighting, to this edge of settlement location. A footpath link is proposed in this location to provide additional leisure routes towards the open space and LEAP. On balance, it is considered that the proposed Site Layout offers significant improvements over the initial approach secured by the Design Code and that these benefits should be secured by the approval of reserved matters.
- 6.24 The development also avoids large rear parking courts which reduces the likelihood of anti-social behaviour. Where parking courts are present, to reduce a dominating appearance of cars within the street scene, these spaces would be well overlooked, and the Police Designing Out Crime Officer has confirmed that they have no objection to the scheme.
- 6.25 A clear hierarchy of streets is demonstrated ranging from primary vehicle/cycle and pedestrian route direct east to west with secondary residential streets and tertiary private drives. Accessible leisure routes are also available into the wider Public Open Space, notwithstanding the difficult topography that is evident in some areas of the site. Limited steps and retaining structures are proposed to deal with the level changes, however, these are minimal and a walking route suitable for pushchairs and wheelchairs is available without connections being terminated by steps.
- 6.26 The proposed design includes pedestrian connections through open space and towards other areas of the development that would provide opportunities for social interaction, particularly around the local equipped area of play. Street layouts have been designed to aid legibility, and public spaces would be overlooked to encourage the continual and safe use of these spaces.

- 6.27 The layout design includes corner turning dwellings that have been treated as landmark buildings using locally distinctive materials including natural stone. Blank elevations on the public street scene are avoided.
- 6.28 For the most part, public spaces would be well overlooked providing natural surveillance. This is not the case to the south of the site with the rear of properties facing the extensive public open space. The approach taken is considered acceptable in this case as the proposed planting and boundary treatments would assimilate into the rural context more succinctly. Furthermore, the properties provide barriers to light spill to ensure that there are no adverse impacts on the identified bat flyway.
- 6.29 The breach of the bat corridor for the road crossing has been accommodated sensitively once more with the narrowing of the principal highway and a decoupling of the footway and cycleway to minimise the width of the breach. For the purposes of the Conservation of Habitats and Species Regulations 2017 (as amended) Teignbridge District Council has consulted the Lead Planning and Technical Ecologist of Burton Reid Associates about this 'reserved matters' application proposal. This approach has been assessed by both Burton Reid Associates and the Council's Biodiversity Officer and is considered to be acceptable. In addition, no objections have been raised by Natural England.
- 6.30 The layout has been assessed against its compatibility with the Masterplan & Design Code where the commitment shown to high-quality design scores highly. Principles set out in the Building for Healthy Life Assessment are evident within the application.
- 6.31 The provision of affordable housing proposed accords with both Local Plan policy and the S106 Agreement. Policies WE2, WE3 and WE4 of the Teignbridge Local Plan 2013-2033 and Policies H2, H3 and H4 of the emerging Teignbridge Local Plan 2020-2040 require that the site provides 20% of the total number of units as Affordable with a tenure split of 70/30 rent and intermediate. 18 affordable housing units are proposed; 13 would be for affordable rent (4 x 1 bed units, 7 x 2 bed units, 2 x 4 bed units), and 5 would be affordable intermediate dwellings (3 x 2 bed units and 2 x 3 bed units). The distribution of these affordable properties would be pepper-potted throughout the site. The Council's Housing Enabling Officer has confirmed no objections to the proposed number of affordable units, the bedroom mix and distribution within the site.
- 6.32 An Adoption and Management Plan has been submitted to confirm the extent of private and adoptable areas. This has assisted in defining management responsibilities to ensure that the high-quality layout, design and landscaping is properly maintained for the lifetime of the development.
- 6.33 Appearance and Design
- 6.34 As referred to in paragraph 3.3 above, "Appearance" is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as *the aspects of a building or place within the development which determine the visual impression the building or place makes, including the external built form of the development, its architecture, materials, decoration, lighting, colour and texture.*

- 6.35 From the submitted plans and the details within the submitted Design and Access Statement it is considered that the scheme would have an attractive visual appearance. Care has been taken to ensure that the hard landscaping features would contribute to the visual appearance of the site.
- 6.36 There is an appropriate use of natural stone for landmark buildings which anchors the scheme into its locality and the applicant has responded to Officer comments requesting additional use of pastel coloured render. The brick decorative courses also reflect the existing character of the area.
- 6.37 A limited number of dwellings are unable to provide step free access to rear gardens. This is an unavoidable feature given the challenging site levels and, on balance, the provision is considered acceptable given the associated design and scale benefits with providing split-level properties.
- 6.38 Several design-related comments were raised by Officers during the course of the application with the applicant responding positively to ensure that due consideration was given to levels, overlooking, boundary treatments, retaining structures and the interaction between public and private spaces.
- 6.39 The design and appearance of the scheme would positively contribute to character and appearance of Newton Abbot in accordance with TDC LP Policies S2 and NA3; and Policy BHE1 of the Abbotskerswell Neighbourhood Plan.

6.40 Landscaping

- 6.41 As referred to in paragraph 3.3 above, “Landscaping” is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as *the treatment of land (other than buildings) for the purpose of enhancing or protecting the amenities of the site and the area in which it is situated and includes: (a) screening by fences, walls or other means; (b) the planting of trees, hedges, shrubs or grass; (c) the formation of banks, terraces or other earthworks; (d) the laying out or provision of gardens, courts, squares, water features, sculpture or public art; and (e) the provision of other amenity features.*
- 6.42 The proposal has been accompanied by a detailed landscaping scheme and is additionally subject to the control of Outline Condition 18.
- 6.43 The existing key green corridors on the site have been largely retained with breaks only where operationally necessary. Planting buffers to provide additional ecological habitat would be provided in appropriate locations. A landscaping implementation, maintenance and management condition is recommended, together with an additional condition requiring future replacement planting should the need arise.
- 6.44 The development would provide a Local Equipped Area of Play. A condition is recommended requiring specific details of the LEAP.

6.45 Scale

- 6.46 As referred to in paragraph 3.3 above, “Scale” is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as *the height, width and length of each building proposed within the development in relation to its surroundings.*

6.47 The applicant has sought to resolve Officer concerns relating to building heights having an overbearing impact and submitted revised plans that better addressed the proposed site levels. The extract and Key below are copied from the submitted 'Building heights' drawing.



6.48 The majority of the development would comprise dwellings of 2-storey height. There are some 2.5 storey height dwellings, most prominent along the main spine road

together with two 3 storey height units. The dwellings at the southern most part of the built development would be split level (2-3 storeys).

- 6.49 As clarified in paragraph 6.4 of this report, the building heights parameter plan approved at the outline stage indicates that dwellings up to 3 storeys in height would be acceptable along the main spine road and adjacent to the boundary with the football club in the northern part of the site. Building heights reduce to a maximum of 2.5 storeys in the central part of the site. The southern part of the site is to provide building heights of up to 2 storeys. Whilst it is acknowledged that there is a deviation from the building heights parameter plan, nevertheless the detailed proposal accords with the principles of the Design Code which sets out more specific design parameters and has been approved by the Council.

Other Material Considerations

6.50 Sustainable Location

- 6.51 The approval of the hybrid application in 2020 confirmed that the location of the site would constitute sustainable development, and as such, the site is considered well-related to the services and job opportunities within Newton Abbot. This 'reserved matters' proposal for Phase 2 seeks to integrate further connections to ease pedestrian and cyclist movement into the wider network to access jobs and services.

6.52 Environmental Impact

- 6.53 The environmental impact of the overall development proposal was considered during the determination of the Principal Consent and several conditions are attached to the Decision Notice which require ongoing compliance. As such, it is concluded that subject to the controls specified within the relevant planning conditions, that the proposal accords with the Development Plan policy and national guidance on biodiversity.
- 6.54 Submission of a Biodiversity Net Gain Plan, referring to the Biodiversity Net Gain metric, is not a requirement of this application as the head permission pre-dates the introduction of the Biodiversity Net Gain mandatory requirement.
- 6.55 The development is required to be sensitively designed with regards to lighting to minimise impacts on greater horseshoe bat commuting corridors. Attention has been paid to reducing light spill across the development in areas known as dark corridors and the opportunity to provide enhanced habitat for various biodiversity uses including foraging areas for bats.
- 6.56 The site lies within the Landscape Connectivity Zone of the South Hams Special Area of Conservation (SAC). As part of the assessment of these 'reserved matters' attention has had to be given to the design to ensure that no harm to Greater Horseshoe Bats would result.
- 6.57 As advised elsewhere in this report, for the purposes of the Conservation of Habitats and Species Regulations 2017 (as amended) Teignbridge District Council has consulted the Lead Planning and Technical Ecologist of Burton Reid Associates. They are of the stated opinion that the proposals will not adversely affect the integrity of the South Hams SAC, either alone or in combination with other

plans or projects. The applicant clarified the timing of compensatory hedgerow planting and the locations of temporary lighting screening and double-row hedgerows within the Landscape Scheme. A condition is also recommended that restricts the level of lighting that can be implemented by future occupiers of the development.

6.58 The Ecological Mitigation Strategy, Lighting Impact Assessment, Arboricultural Method Statement, Construction Environment Management Plan and Landscape and Ecological Management Plan are all subject to conditions on the hybrid permission, ensuring that adherence to these documents is secured. The applicant has submitted a separate Discharge of Condition Application for these conditions, the details of which have been taken into account when considering the mitigation proposals in tandem with these 'reserved matters' details. This is not a requirement of the hybrid permission but has been welcomed in the interests of comprehensive development and best practice.

6.59 As the Adopting Authority, Teignbridge District Council has made an informed decision on the conclusion of effects on the integrity of the South Hams SAC. Accordingly, for the purposes of the Conservation of Habitats and Species Regulations 2017 (as amended), Teignbridge District Council hereby adopts the conclusion dated 19th August 2025 of the Lead Planning and Technical Ecologist of Burton Reid Associates as its own, and as Competent Authority, is able to conclude that there will be no effect on the integrity of the South Hams Special Area of Conservation (SAC). In addition, Natural England has been consulted and has raised no objection to the proposals.

6.60 Climate Change

6.61 The scheme has taken opportunities to limit its impact on climate change, notably with the inclusion of:

- A fabric first approach to construction with the properties to be of timber-frame construction
- Air source heat pumps will be provided to all dwellings
- Retention of existing landscaping sustains and promotes biodiversity
- The use of sustainable water sources (water butts) is proposed

6.62 The Council's Climate Change Officer is encouraged by the Sustainable Heating Plan drawing that was submitted confirming the proposed use of air source heat pump technology. Furthermore, the Climate Change Officer references emerging policy within the Teignbridge Local Plan 2020-2040. Given the late stage of plan preparation, these policies are afforded great weight during the determination process of this application. Emerging Policy GP1 requires development to minimise embodied carbon which the development achieves largely through its timber frame construction. Carbon emissions would be reduced significantly through the provision of air source heat pumps for each dwelling. A condition has been recommended by the Climate Change Officer seeking the submission of a lifecycle carbon assessment, in accordance with the RICS Lifecycle Carbon Assessment Methodology (Second Edition). This has been reflected as one of the conditions being recommended to be attached to any approval of this 'reserved matters' application.

6.63 Impact on Residential Amenity

- 6.64 In terms of inter-relationship between the proposed dwellings, it is not considered that the proposed development would have an adverse impact on neighbours with the intervening distances between sensitive neighbours being a significant distance.

6.65 Comments raised during Committee Site Inspection

- 6.66 During the Planning Committee Site Inspection held on 2nd October 2025, several points were raised by Committee Members for consideration and comment.

a) Finishing materials, width, and drainage of footpaths.

- 6.67 Specific reference was made to the southern footpath and where it winds to the LEAP and also would link eventually to the future phase 3 development. In terms of permeability and appearance, queries were raised as to external finishing materials and what materials would be used to prevent surface water run-off, whilst making it look aesthetically pleasing, and also being able to accommodate not only pedestrian users but also wheelchairs, prams, etc. In terms of width, if the footpath is also going to be used by cycle users (even small children with bikes or scooters) what would be the width of the path be to ensure ease of movement when pedestrians/prams/wheelchairs etc pass each other without the need to step off the path?

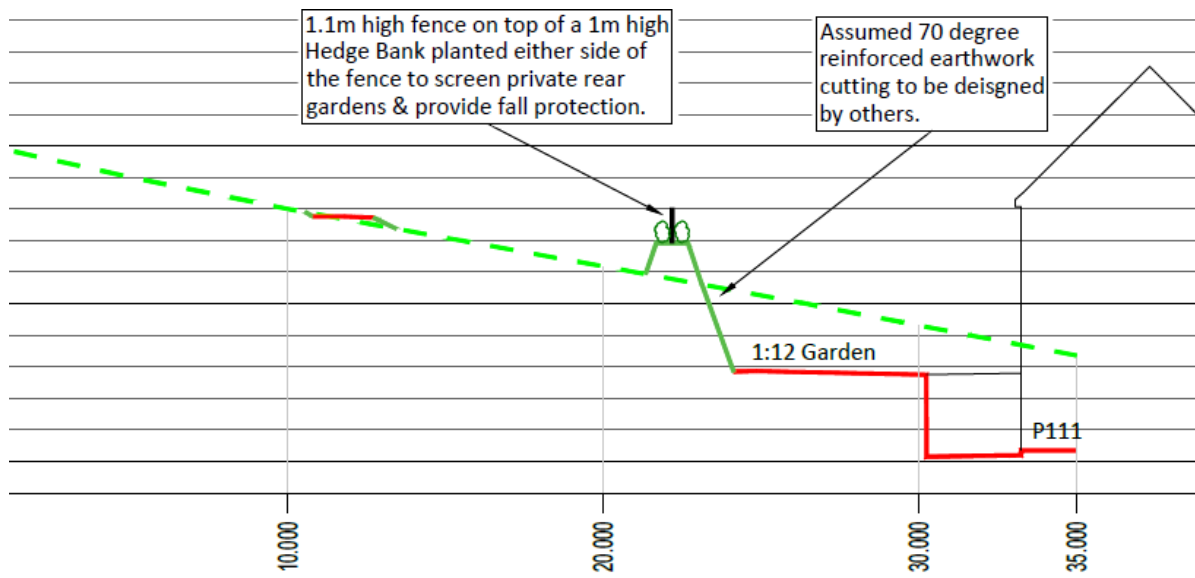
- 6.68 Subsequent to the Committee meeting, the applicant has advised that the path through the green public open area is currently shown with a width of 1.8 metres on the submitted layout which would be suitable for a path of this nature. Manual For Streets guidance indicates an allowance of 1.5 metres for a pushchair and adjacent pedestrian; and the Highway Authority has raised no concerns in this respect. The proposed surface treatment for the path was intended to be asphalt for safety of use for all users and maintenance. The design of the footpaths within the public open space has been based on the County Highway Authority's standards of adoption, particularly if it was to be that Authority's intention to adopt these footpaths. Hence the specification of these footpaths must be an asphalt finish to meet their specification standards. The surface water flows would drain into adjacent POS and flows would be conveyed around the POS to discharge into soft landscape via a land drain. It is likely that this surfacing material would result in a higher level of overland surface water flow but the drainage strategy that has been agreed with the LLFA has been designed to accommodate this. If the footpath is not adopted, the applicant has submitted a hard landscaping plan that shows the footpath finished with compacted gravel, as a more natural looking and permeable surface. Overland surface water flow would likely reduce in comparison to an asphalt finish, and the path would be designed appropriately to minimise the effect of erosion, particularly in steeper areas that would make access for wheelchairs and pushchairs more challenging. The drainage strategy, being designed for an asphalt surface, would be more than sufficient if ultimately a compacted gravel path was to be constructed.

- 6.69 In effect, what has been planned for by the applicant is the worst-case scenario (from a drainage perspective) to ensure that the strategy works with both options. It is suggested that a suitably worded planning condition would allow for details of the surfacing of this footpath to be agreed prior to its construction so as not to prejudice the adoption process.

- 6.70 Whilst noting these subsequent comments from the applicant, it is unlikely that the Highway Authority would have considered in detail any paths that are not intended for formal adoption by the Highway Authority. Indeed, confirmation has now been received that the footpaths in question will not be adopted by the Highway Authority; rather they will be managed by a future Management Company.
- 6.71 Whilst the use of asphalt would allow ease of movement for wheelchairs, prams, pushchairs, bicycles, etc, there is a question of its effectiveness in terms of permeability and surface water run-off. As such, it is considered appropriate to recommend a condition seeking details of all non-adopted footpaths in this phase in terms of (i) the specification and type of surfacing to be provided for the footpaths, (ii) the specification and type of any means of enclosure / handrails that may be provided adjoining said footpaths, (iii) the methods of draining these footpaths to avoid unacceptable surface water run-off onto adjoining land, including the LEAP and roads, and into nearby residential dwellings, and (iv) a timetable for the carrying out and completion of the non-adopted footpaths in their entirety.

b) Overlooking of Rear gardens of Plots 111 – 128, plots 53 and 54 from the public footpath to the south.

- 6.72 Comment was made about potential overlooking of the rear gardens of these plots from this footpath. Whilst acknowledging that there would be a new boundary hedge planted between these plots and the footpath, with reference to the submitted typical Section drawing, the height of that new hedge would appear to be inadequate to prevent complete overlooking of the rear garden from users (average height say 1.8m) of the higher footpath. In addition, the point was raised that the proposed boundary hedge may be insufficient by itself to prevent inquisitive people from climbing the hedge and inadvertently falling to the gardens below.
- 6.73 In response to these overlooking and health and safety concerns, the applicant has submitted additional sectional drawings showing a 1.1 metres high fence on top of a 1 metre high bund/hedge on top of the retaining wall. It is suggested that there could be approximately 1.2-metres high planting on top to screen the plots. The height of the hedge could be increased, if required. A typical section is reproduced below to help clarify this suggestion.

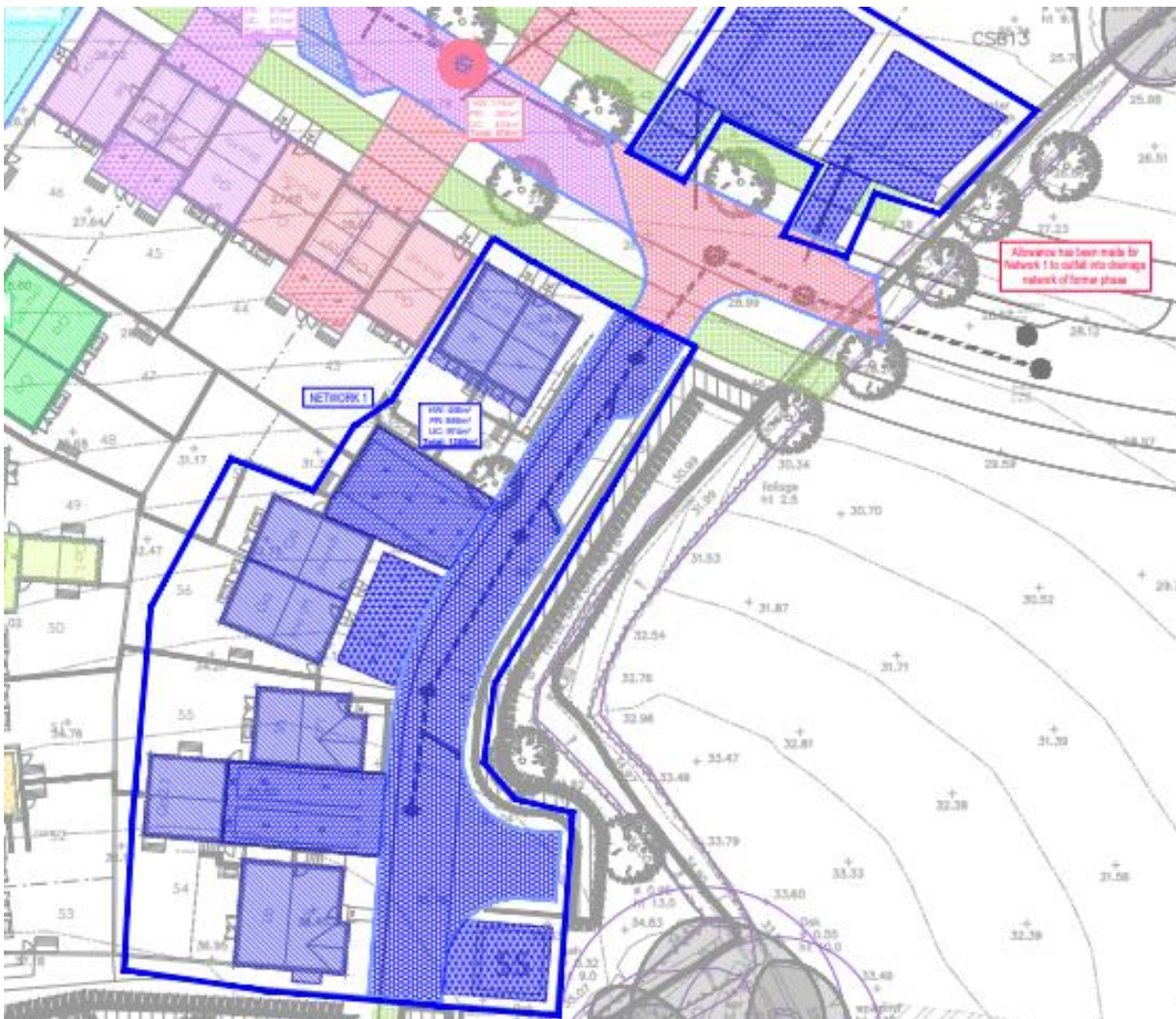


- 6.74 Noting this additional information submitted by the applicant, it is considered that this amendment addresses in a satisfactory manner this particular point raised at the Committee site inspection. Nevertheless, it is considered appropriate to recommend a condition stating that no dwelling on plots 53, 54 and 111 to 128 inclusive (i.e. those closest to the southern footpath) shall be occupied until the new Devon hedges and fencing thereon to the south of those plots have been constructed, erected and landscaped in accordance with all approved layout, section and landscaping drawings. Thereafter, these Devon hedges and fencing shall be retained and maintained in perpetuity and shall not be removed, demolished or dismantled in any way, either in whole or in part, without the prior written approval of the Local Planning Authority.

c) Drainage

- 6.75 Whilst accepting drainage is not a 'reserved matter' per se, queries were raised regarding surface water run-off from the upper parts of the site causing unacceptable flooding of the LEAP, the main link road and the future self-build properties to the north of that main spine road. Whilst mindful that the issue of surface water drainage is subject to a separate "Discharge of Conditions" application, nevertheless Committee wished this matter to be further addressed, and comments sought from the Lead Local Flood Authority (LLFA) prior to any final determination of this current 'reserved matters' application.
- 6.76 In response to the matter of the drainage run-off across the phase 2 site, the applicant has advised that a drainage strategy has been produced based on feedback directly from the LLFA which features SuDS elements including cut-off ditches etc. to help mitigate run-off. The applicant has discussed the proposals extensively with LLFA and has provided to the LLFA updated surface water calculation results.
- 6.77 Separately, the applicant has also submitted the relevant information to discharge condition 12 (surface water drainage strategy) of the hybrid permission following the LLFA's agreement to the drainage strategy. That Discharge of Condition application is reference 19/00238/COND19.

6.78 The LLFA has noted that the drainage from 6 plots in the east of the phase 2 scheme only (closest to the Phase 1 development currently under construction) and also for 2 of the future self-build plots would be accommodated in an easterly direction through the phase 1 development area. These 6 plots (and the 2 future self-build plots) are identified in blue on the extract below.



6.79 The majority of the Phase 2 development would drain westwards through the future phase 3 development, with drainage being accommodated by a basin near Fords Leat to the north- east of the phase 2 development (and nearby Football Club) on the opposite side of Kingskerswell Road. This drainage basin forms part of the 'reserved matters' application reference 25/00345/MAJ relating to the construction of highway and drainage (infrastructure phase) which remains under consideration and will be placed before the Planning Committee for future determination in the not too distant future. The hybrid permission indicates the location of the basins in this area of the site, east of Kingskerswell Road. The infrastructure application contains the relevant information to demonstrate how the remaining phases connect to this basin.

6.80 Regarding surface water flows and distribution, detailed drawing no. ES23.051 SK-PH2-09.00 Rev P3 'Overland Flood Exceedance Plan' which confirms the flow routes. These are identified by the blue arrows in the extract below.

6.81 Overland Flood Exceedance Plan



6.82 Land drainage is proposed around the upper parts of the site to convey flows around the development to discharge into soft landscaped area. The route is proposed in the green dashed line on the submitted drawing no. ES23/051 SK-PH2 03.01 Rev P9 'Drainage Strategy Sketch' (i.e. alongside the new hedge between the southernmost plots and the new upper footpath, and towards the north western boundary running to the south west of the proposed LEAP, and adjacent to the north western boundary itself). An extract of that drawing is below.

[illegible]

6.84 The LLFA has confirmed that its initial 'holding' objection based on lack of information having been submitted can now be withdrawn in respect of this current 'reserved matters' application. Due regard is given to the fact that 'drainage' per se is not a 'reserved matter' and can be determined on its own merits as part of the separate Discharge of Conditions application. Indeed, the applicant is aware that further information is required for the discharge of condition 12 but this would not affect the 'reserved matters' elements of appearance, layout, landscaping and scale of the development.

d) Solar Panels

6.85 A query was raised as to why the proposed plots on phase 2 could not be fitted with solar panels, especially as south facing were generally into rear private gardens rather than facing a more public domain.

6.86 As clarified in report, the proposed development has sought to limit its impact on climate change by the inclusion of (i) a fabric first approach to construction with the properties to be of timber-frame construction, (ii) air source heat pumps being provided to all dwellings, (iii) retention of existing landscaping which sustains and promotes biodiversity, and (iv) the use of sustainable water sources (water butts).

6.87 Subsequent to the Committee's site visit, the applicant and agent have reiterated this approach to focus on a fabric first solution to reduce energy demand in conjunction with air source heat pumps across all plots (and EV charge points). All

88 dwellings are intended to be 'zero carbon ready' meaning that they do not have a gas boiler. The energy strategy is instead predicated on the use of air source heat pumps for all properties. With integrated renewable energy, the homes are designed to be fully decarbonised in the future once the national grid fully optimises clean energy. They are therefore transitional dwellings that are not 'locked in' with unsustainable energy sources. In addition, the applicant is providing water butts in rear gardens which is a simple intervention resulting in a free source of water for gardens and reducing the demand on the mains supply.

6.88 It should be noted that no objection to this approach has been raised by the Council's Climate Change Officer.

6.89 Nevertheless, noting the request to consider the use of solar panels, the applicant has confirmed that a number of plots on phase 2 will be installed with solar panels *in addition to* the fabric first solution and air source heat pump strategy. This is welcomed by the Climate Change Officer.

6.90 An additional drawing has now been submitted with reference to solar panel installation on all 18 of the affordable units. A condition is recommended to this effect.

6.91 Other Matters

6.92 Matters pertaining to ecological mitigation and management, construction management, landscaping and drainage are among other topics covered by conditions within the hybrid permission that remain appropriate to this development. These are subject to separate applications and detailed negotiations with Teignbridge District Council, Devon County Council and statutory consultees.

7. **CONSIDERATION OF COMMENTS RECEIVED**

7.1 A summary of representations received from third parties are set out below. The submitted representations in full are in the public domain and can be viewed on the website and should be taken into account prior to any decision being taken.

7.2 *Abbotskerswell Parish Council*

7.3 Abbotskerswell Parish Council seeks submission and approval of the drainage scheme covering the site prior to, or at the same time, as any approval of this 'reserved matters' application to ensure that the proposed development allows for the 100 year flooding event and protects the properties fully from water run-off. Comment is also made regarding the type of materials to be used for the top footpath having regard to manoeuvrability for users. In addition, it is stated that air source heat pumps should be mandatory on all properties along with solar panels.

7.4 These various points have been raised elsewhere in this report, suffice to say that:

a) the submitted drainage strategy is subject to a separate 'Discharge of Conditions' application and the LLFA has intimated that it has no objections,

b) the proposed finishing materials for the top footpath (and indeed all the non-adopted footpaths) are the subject of a recommended condition, and

c) the Council's Climate Change Officer has confirmed that the applicant's adoption of a fabric first approach to construction with the properties to be of timber-frame construction, and with air source heat pumps being provided to all dwellings is acceptable and he raises no objections to this approach. Nevertheless, the Climate Change Officer welcomes to proposed installation of solar panels on the 18 affordable units *in addition to* the use of air source heat pumps.

7.5 *Newton Abbot Town Council*

7.6 Newton Abbot Town Council objects to the proposal asking for the following points to be addressed:

- Insufficient information on how attenuation ponds and water runoff into ditches will be managed
- Clear long-term maintenance plans must be provided to prevent flooding risks or environmental damage
- The development is out of town and isolated, with no adequate public transport links
- Concerns with accessibility and connectivity for residents in relation to schools, healthcare and local services
- The bridge access to Kingskerswell roundabout requires further assessment to ensure it can support additional traffic
- Infrastructure must be in place before the site is occupied
- Unresolved highway concerns regarding safe access to and from the development
- Clarification is needed on traffic impact mitigation measures and how the development will integrate with the surrounding road network
- The cumulative effect of this and other developments on Newton Abbot's services, transport and infrastructure must be fully assessed

7.7 The comments provided by Newton Abbot Town Council largely raise concerns with the principle of development of the site and the impact of the development which were considered at outline stage. A pre-commencement condition attached to the hybrid permission requires the submission of a drainage strategy showing how the phase will manage foul and surface water. A management plan is also required as part of this condition, and as such, this comment is addressed elsewhere by the hybrid permission and is not relevant to this application for approval of reserved matters.

7.8 The location of the site, off-site highway infrastructure and cumulative impacts of development were all matters evaluated at the outline stage and do not relate to this application for the approval of reserved matters. Access to the development site has been approved in detail and is therefore not being considered at this time.

7.9 *Newton Abbot & District Civic Society.*

7.10 A comment has been received in relation to this application from the Newton Abbot & District Civic Society. The comment welcomes the proposed use of natural stone on feature buildings. Whilst the comment does request that this material is used across a 'high proportion' of the houses, it is not considered that this would be necessary given the already prominent use of natural stone on key buildings and the use of pastel coloured render and brick detailing reflective of local architectural

styles in Newton Abbot. The comment also discussed the Design Code, which has been approved and is therefore not open for consideration at this time. The comment also includes a concern with regards to the weakening of the affordable definition; however, officers confirm that the affordable housing provision, in terms of affordable rent and affordable intermediate is consistent with the provisions of the S106 Agreement.

8. CONSULTEE COMMENTS

8.1 A summary of comments along with any actions arising if provided below. Full consultation comments are available in the online case file.

Consultee	Date of Comment	Response	Comment
Police Designing out Crime	2 Sept 2025	No objection or further comment following revisions.	Revised drawings had been submitted in August 2025.
TDC Waste Management	20 Aug 2025	No further comments to make.	Confirmed in February 2025 that all concerns had been addressed.
DCC Waste	3 Oct 2025	All concerns addressed.	Noted that Waste Audit Statement and addendum have been updated to identify targets for re-use, recycling and recovery for each waste type from during construction and excavation.
DCC Highways	3 Oct 2025	Following receipt of further information regarding road hierarchy, road gradients, surfacing materials, tracking and private parking, no objections are raised to this 'reserved matters' application for phase 2.	Road hierarchy adjusted with further shared surface introduced. Delineated flush kerbing to be installed to highlight service margin / footway. Gradient of highway on eastern side reduced to 1:12. Block paving replaced with imprinted surfacing at request of the adopting authority. Reviewed tracking and private parking adjusted to suit localised comments on specific plots.
TDC Housing Enabling Officer	25 Sept 2025	No objections.	Updated consultation response received following initial concerns raised about 'clustering' and the applicant relocating two of the affordable units to overcome this concern.
South West Water	18 Sept 2025	No further observations to those made in the response of February 2025.	Initial comments received 13 th February 2025 referred to Standing Advice.

Consultee	Date of Comment	Response	Comment
National Highways	2 Sept 2025	Satisfied that proposed amendments are unlikely to result in an adverse impact on the safe and efficient operation of the strategic road network and therefore considers that its previous response recommending no objections remains appropriate.	
Natural England	3 Sept 2025	No objection subject to appropriate mitigation being secured. Advises that an appropriate planning condition or obligation is attached to any planning permission to secure these measures.	Natural England considers that without appropriate mitigation the application would have an adverse effect on the integrity of South Hams Special Area of Conservation and would damage or destroy the interest features for which Wolborough Fen Site of Special Scientific Interest has been notified. To mitigate these adverse effects and make the development acceptable, the measures identified in the Habitat Regulations Assessment (HRA) commissioned by TDC and produced by Burton Reid Associates are required.
Lead Planning and Technical Ecologist, Burton Reid Associates	19 Aug 2025	Subject to inclusion of lighting condition and a lighting strategy for each self-build plot, the proposals will not adversely affect the integrity of the South Hams SAC, either alone or in combination with other plans.	An appropriate assessment of the implications of the reserved matters proposals has been carried out in view of the conservation objectives of the SAC, alone and in combination with other plans and projects. The proposed measures to avoid and mitigate potential impacts of the proposals as set out in the various ecological/biodiversity documents and the applicants' Shadow Habitats Regulations Assessment (GE Consulting, 13 August 2025) are considered appropriate and sufficient.

Consultee	Date of Comment	Response	Comment
TDC Biodiversity	19 Aug 2025	No objection.	Reference made to ensuring that the self-build plots are subject to lighting mitigation measures. However, the self-build plots will be subject to separate (reserved matters) applications, and such conditions can be attached to those applications.
TDC Spatial Planning	8 Oct 2025	No comment.	Notes this a 'reserved matters' application on an allocated site for which the principle has already been established.
TDC Climate Change Officer	10 Sept 2025	Observations offered relating to cycle stores, air source heat pumps, EV charge points, SAP calculations and Embodied Carbon. No objections raised subject to the imposition of a condition relating to embodied carbon.	An appropriately worded condition has been suggested by the Climate Change Officer. This forms one of the recommended conditions.
TDC Self-Build Project Officer	3 Oct 2025	No objections. The applicant has responded to advice, submitting a revised layout for 13 plots of widths considered appropriate to market demand in this location.	Separately, these 13 plots are part of a legal obligation to provide 5% of up to 450 dwellings approved within application ref 19/00238/MAJ. reference to the remainder of the self-build balance to be delivered across future phases.
Historic England	26 Aug 2025	Does not wish to offer any comments.	
Network Rail	20 Aug 2025	No objections.	

Consultee	Date of Comment	Response	Comment
Devon & Somerset Fire and Rescue Service	21 Aug 2025	The proposal must comply with the functional requirements of Building Regulations, including access and facilities for the fire service. Other requirements include minimum road widths, turning facilities for fire service vehicles, maximum reversing distances of 20 metres, requirements for fire mains, hydrants and smoke control.	Not a statutory consultee at this stage. Observations for Building Regulations Stage.
DCC Lead Local Flood Authority	9 Oct 2025	Previous 'holding' objection withdrawn. No objections. Approval of 'reserved matters' application would not prejudice any determination of a separate Discharge of Conditions application (19/00238/COND19) seeking to discharge condition 12 (surface water drainage).	Comments made in March and May 2025 required details of the drainage system and maintenance details at this stage. Much of the requested details is required by Condition 12.
Environment Agency			No comments received.
National Health Service			No comments received.

9. RELEVANT DEVELOPMENT PLAN POLICIES

9.1 Teignbridge Local Plan 2013 – 2033

NA3 Wolborough
S1A Presumption in favour of Sustainable Development
S1 Sustainable Development Criteria
S2 Quality Development
S3 Land for Business, General Industry and Storage and Distribution
S5 Infrastructure
S6 Resilience
S7 Carbon Reduction Plans
S9 Sustainable Transport
S10 Transport Networks
S14 Newton Abbot
WE2 Affordable Housing Site Targets
WE3 Retention of Affordable Housing
WE4 Inclusive Design and Layout
WE11 Green Infrastructure
EN1 Strategic Open Breaks
EN2A Landscape Protection and Enhancement
EN5 Heritage Assets
EN8 Biodiversity Protection and Enhancement
EN9 Important Habitats and Features
EN10 European Wildlife Sites
EN11 Legally Protected and Priority Species
EN12 Woodlands, Trees and Hedgerows

9.2 Abbotskerswell Neighbourhood Development Plan 2016-2033

NE1 – Development and the Natural Environment
NE2 - Devon Banks / Hedgerows
NE4 – Local Flooding
PH1: Local Needs Housing/Affordable housing
PH2: Minimising the Impact of Local Plan Allocation NA3 Wolborough

9.3 Proposed Submission Teignbridge Local Plan 2020-2040

GP1: Sustainable Development
GP2: Development in Teignbridge
GP3: Settlement Limits and the Countryside
GP7: Infrastructure & Transport Networks
CC1: Resilience
CC2: Energy and Carbon Statements
CC3: Electric Vehicle Infrastructure
CC4: Sustainable Transport
CC5: Renewable and Low Carbon Energy Generation
DW1: Quality Development
DW2: Development Principles
DW3: Design Standards
H3: Affordable Housing Controls
H4: Inclusive Mix, Design and Layout

H5: Homes Suitable for all
H12: Residential Amenity
EN1: Setting of Settlements
EN4: Landscape Protection and Enhancement
EN6: Flood Risk and Water Quality
EN7: Air Quality
EN8: Light Pollution
EN9: Contaminated Land/ Land Instability
EN10: Biodiversity and Geodiversity
EN11: Important Habitats and Features
EN12: Legally Protected and Priority Species
EN13: European Wildlife Sites
EN15: South Hams SAC
EN16: Trees, Hedges and Woodlands

7.4 Habitat Regulations
7.5 Devon Waste Plan
W4 Waste Prevention
7.6 National Planning Policy Framework (2024)
7.7 National Planning Practice Guidance

10. COMMUNITY INFRASTRUCTURE LEVY

- 10.1 The Community Infrastructure Levy calculation will be circulated to members prior to committee date.

11. ENVIRONMENTAL IMPACT ASSESSMENT

- 11.1 In determining the hybrid planning application considered under reference 19/00239/MAJ, the Local Planning Authority took into consideration the Environmental Statement submitted with the planning application and also all of the consultation responses and representations received, in accordance with Regulation 3 (4) of The Town and Country Planning (Environmental Impact Assessment) Regulations 2011.
- 11.2 The current application, which seeks reserved matters approval, is considered in compliance with the outline planning permission for the purposes of EIA.
- 11.3 The need for a further EIA has therefore been “screened out” for this application as the proposals, with the mitigation secured by the Conditions and S106 Obligations as detailed within the outline planning permission and the conditions imposed, would not give rise to any significant environmental effects within the meaning of the Environmental Impact Assessment Regulations 2017.

12. BIODIVERSITY NET GAIN (BNG)

- 12.1 Biodiversity net gain is a legal requirement for planning permissions. Planning applications are required to either provide detailed information proving there will be a biodiversity increase of 10% or explain why they are exempt from doing so. Unless exempt, planning permission is subject to the general Biodiversity Gain Condition (as set out in Paragraph 13 of Schedule 7A of the Town and Country Planning Act 1990 (as amended))

- 12.2 This development is exempt from the general Biodiversity Gain Condition as the outline permission was granted prior to introduction of the mandatory Biodiversity Net Gain requirements.

13. HUMAN RIGHTS ACT

- 13.1 The development has been assessed against the provisions of the Human Rights Act, and in particular Article 1 of the First Protocol and Article 8 of the Act itself. This Act gives further effect to the rights included in the European Convention on Human Rights. In arriving at this recommendation, due regard has been given to the applicant's reasonable development rights and expectations which have been balanced and weighed against the wider community interests, as expressed through third party interests/the Development Plan and Central Government Guidance.

Ian Perry

Head of Development Management